



Mississippi
Mills

Municipality of Mississippi Mills
Planning & Building Department

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June 26, 2024

Municipality-initiated Zoning By-law Amendment

Re: Notice of No Appeals - Zoning By-law Amendment
34 Victoria Street
D14-VIC-24

Please be advised that the appeal period for the above-noted Zoning By-law Amendment expired on June 26, 2024.

Furthermore, no appeals were received by the Municipality of Mississippi Mills with regard to the amendment and that the by-laws are now in full force and effect. A copy of By-law No. 24-033 and 24-034 have been enclosed for your convenience.

If you should have any questions or concerns regarding this file, please feel free to contact me at 613-256-2064 ext. 501 or mknight@mississippimills.ca.

Sincerely,

Melanie Knight, Director of Development Services and Engineering
Municipality of Mississippi Mills

cc: Melissa Fudge, Planning Technician
CGIS for zoning updates

**THE CORPORATION OF THE MUNICIPALITY OF MISSISSIPPI MILLS
BY-LAW NO. 24-033**

BEING a by-law to amend By-law No. 11-83 being the Zoning By-law for the Municipality of Mississippi Mills.

WHEREAS the Council of the Corporation of the Municipality of Mississippi Mills passed Zoning Bylaw 11-83, known as the Zoning By-law, to regulate the development and use of lands within the Municipality;

NOW THEREFORE the Council of the Corporation of the Municipality of Mississippi Mills pursuant to Section 35.1 of the Planning Act, R.S.O. 1990, Chapter P.13, enacts as follows:

1. That Section 16 'Residential Fourth Density (R4)' to By-law No. 11-83, as amended, is hereby further amended by adding a new row Subzone "B" below Subzone "A" in Table 16.2A as follows:


TABLE 16.2A – R4 SUBZONE PROVISIONS

I	II	III	IV	V	VI	VII	VIII	IV	X
Sub-Zone	Min. Lot Frontage (m)	Min. Lot Area (m ²)	Maximum Building Height (m)	Min. Front Yard Setback (m)	Min. Exterior Side Yard Setback (m)	Min. Rear Yard Setback (m)	Min. Total Side Yard Setback (m)	Maximum number of dwelling units in a block	End Notes (see Table 13.4B)
B	5.5 per unit	180 per unit	11	6	3	6	1.2	16	f, g, h, i, j, k, l

2. That Section 16 'Residential Fourth Density (R4) Zone' to By-law No. 11-83, as amended is hereby further amended by adding the following Subsection to 16.4 thereof:
 1. Notwithstanding the provisions of the R4B zone for the lands zoned as R4B-1 on Schedule 'A' to this by-law:
 - a. The lot line abutting St. James Street is deemed to be the front lot line.
 - b. The lot line abutting Victoria Street is deemed to be an interior lot line.
 - c. The Maximum number of dwelling units in a block: 18

- d. The following additional uses are permitted:
 - townhouse, back-to-back
planned unit development**
 - e. Uses within a Planned Unit Development shall satisfy the provisions for each use as if said use was a separate lot.
 - f. Front, rear, and interior side yard setbacks as per Schedule "B" Section 42.2 to By-law No. 11-83
 - g. Notwithstanding Section 6.24, the minimum setback from a watercourse or municipal drain is 6 metres.
3. That Schedule 'A' to By-law No. 11-83, as amended, is hereby further amended by changing thereon from the 'Development' (D) Zone to **"Residential Fourth Density, Subzone B, Special Provision 1" (R4B-1)** for the lands identified in Schedule 'A', which are legally described as Lots 33 to 36, Plan 6262, Almonte Ward, Municipality of Mississippi Mills.
4. That Section 42 to By-law No. 11-83, as amended, is hereby further amended by adding the following Subsection:
"Section 42.2"
5. That Section 42.2 to By-law No. 11-83, as amended, is hereby further amended by adding Schedule 'B' of this By-law to Section 42.2.
6. This By-Law takes effect from the date of passage by Council and comes into force and effect pursuant to the provisions of the Planning Act, R.S.O. 1990, Chapter P.13.

BY-LAW read, passed, signed and sealed in open Council this **4th day of June 2024**.



Christa Lowry, Mayor



Jeanne Harfield, Clerk



BY-LAW NO. 24-033

Schedule "A"

Lands Subject to the Amendment

Lots 33 to 36, Plan 6262

Almonte Ward, Municipality of Mississippi Mills

Municipally known as 34 Victoria Street

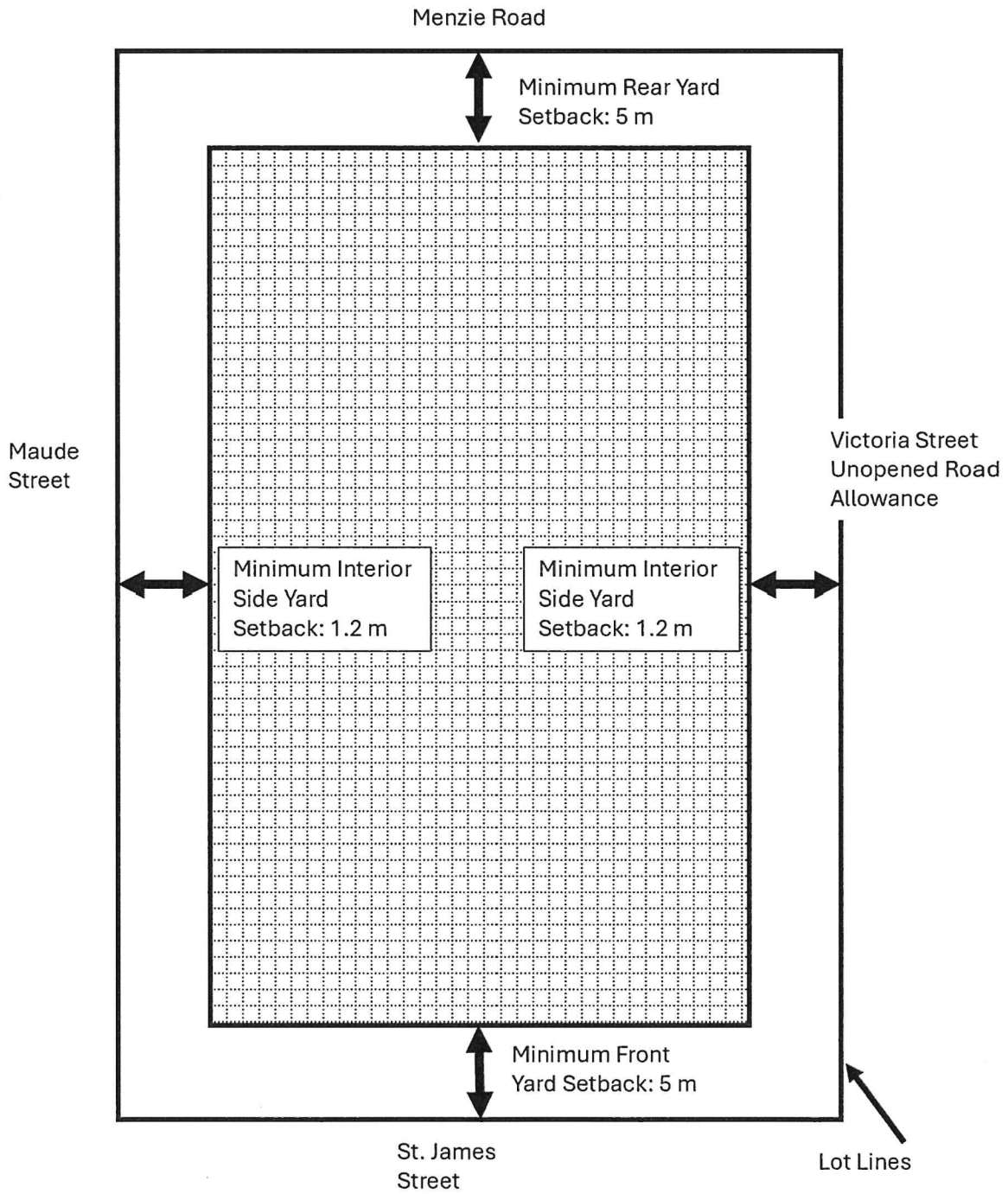


Area to be rezoned from Development (D) to Residential Fourth Density, Subzone B, Special Provision 1 (R4B-1) zone.

BY-LAW NO. 24-033

Schedule "B"

Zoning Schedule



THE CORPORATION OF THE MUNICIPALITY OF MISSISSIPPI MILLS

BY-LAW NO. 24-034

BEING a by-law to amend By-law No. 11-83 being the Zoning By-law for the Municipality of Mississippi Mills.

WHEREAS the Council of the Corporation of the Municipality of Mississippi Mills passed Zoning Bylaw 11-83, known as the Zoning By-law, to regulate the development and use of lands within the Municipality;

NOW THEREFORE the Council of the Corporation of the Municipality of Mississippi Mills pursuant to Section 35.1 of the Planning Act, R.S.O. 1990, Chapter P.13, enacts as follows:

1. That Section 16 'Residential Fourth Density (R4)' to By-law No. 11-83, as amended, is hereby further amended by adding the following to Section 16.1 'Uses Permitted':

townhouse, stacked

2. That Section 5 'Definitions' to By-law No. 11-83, as amended, is hereby further amended by adding the following definition under "DWELLING":


(m) TOWNHOUSE, STACKED, means a building that is divided horizontally and vertically into four or more dwelling units, not exceeding 16 units, each of which has an independent entrance at ground level.

3. That Table 9.2 'MINIMUM PARKING SPACE RATES' to By-law No. 11-83, as amended, is hereby further amended by adding the following parking rates for Stacked Townhouse below Triplex Dwelling and Back-to-Back Townhouse below Apartment – Low Rise as follows:

Stacked Townhouse	1 per dwelling unit
Back-to-Back Townhouse	1 per dwelling unit

4. This By-Law takes effect from the date of passage by Council and comes into force and effect pursuant to the provisions of the Planning Act, R.S.O. 1990, Chapter P.13.

BY-LAW read, passed, signed, and sealed in open Council this **4th Day of June 2024**.


Christa Lowry, Mayor




Jeanne Harfield, Clerk